



RICHMONT **TERRACE** REVITALIZATION PLAN

April, 2016



LORD
AECK
SARGENT

Acknowledgments

Louisville Metro

James Mims, PhD
Gabriel Fritz
Renita Rosa, MPA
Adam Lyons
Jeana Dunlap
Diane Fields
Gretchen Milliken
Kendal Baker, AICP
Michael King

Metro Council

District 1 Councilwoman Jessica Green

Special Thanks to

Highland Park Missionary Baptist Church for hosting the first Community Meeting
Lake Dreamland Fire Department for hosting the second Community Meeting

Cane Run Neighborhood Consultants

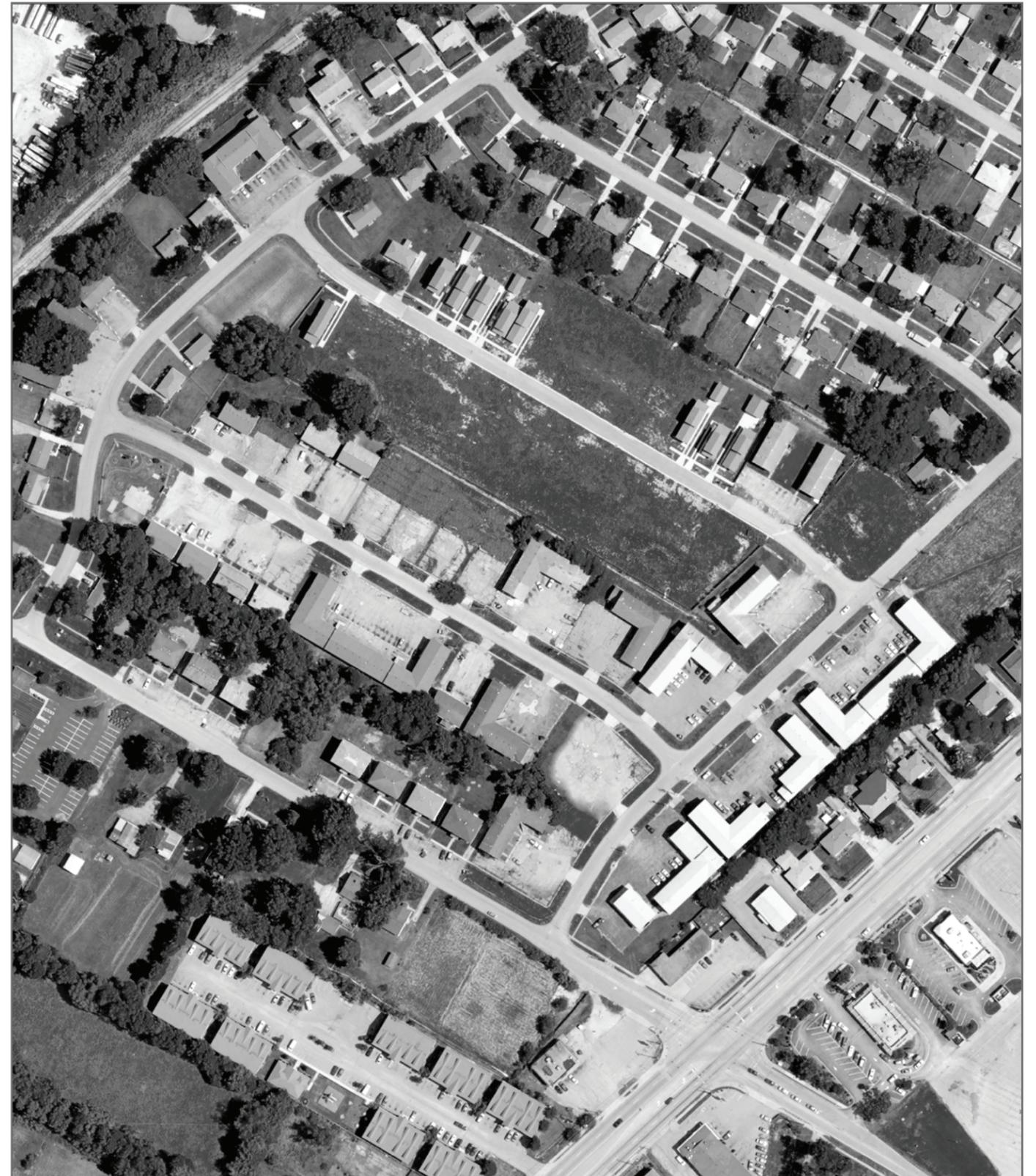
Ryan Holmes, AICP, EHI
Rachel Phillips, AICP, EHI

Richmont Terrace Revitalization Plan Consultants

Stan Harvey, AICP, Lord Aeck Sargent
Bob Begle, Lord Aeck Sargent
Soumi Basu, AICP, Lord Aeck Sargent
Lily Gonzalez, Lord Aeck Sargent

Table of Contents

- 4** Project Background and Process
- 10** Existing Conditions
- 25** Proposed Development Plan and Design Guidelines
- 37** Appendix



Project Background & Process



Introduction & Overview

Louisville Metro, its partners and area stakeholders have undertaken a neighborhood revitalization and housing effort beginning in 2010 with the benefit of a Neighborhood Stabilization grant. The effort is intended to combat vacant and deteriorated properties and expand and protect homeownership opportunity in the Richmond Terrace neighborhood. The target area is located in Metro Council District 1 and is about 8 miles southwest of Downtown Louisville. It is within a mid-century modern neighborhood and is surrounded by retail and industries.

The progress made to date includes acquisition, assessment, demolition and new construction with disposition and construction of additional housing units, both single-family and multi-family, planned for the future. The figure in Page 6 illustrates the overall planning process for neighborhood stabilization. As part of Step 2, Louisville Metro engaged Lord Aeck Sargent, a professional architecture and urban design firm, to help create a comprehensive Development Plan for the targeted blocks and create design guidelines for site planning and architectural design of future housing and development.

The target area is also part of a simultaneous Cane Run Neighborhood Small Area Plan led by Louisville Metro and EHI consultants. Consultants from both planning efforts have collaborated to ensure effective community outreach and utilization of resources.

This document provides a brief overview of the actions to date and summarizes the ongoing efforts through the Richmond Terrace Revitalization Plan and Design Guidelines.



Planning Process

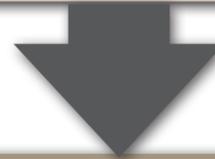
Step 1: Louisville Metro Government Property Assembly and Demolition

Used Balance of Neighborhood Stabilization Program I State funds to purchase NSP Foreclosed properties for land-banking, demolition, and eventual redevelopment.



Step 2: Small Neighborhood Plan and Market Study

Market Study completed.
Engage community members and stakeholders in a small area planning process
Plan to inform future redevelopment efforts on site plan, urban design, architectural design and residential types.



Step 3: Phased Development

Implement the plan in phases through multiple funding mechanisms and other potential partnerships.

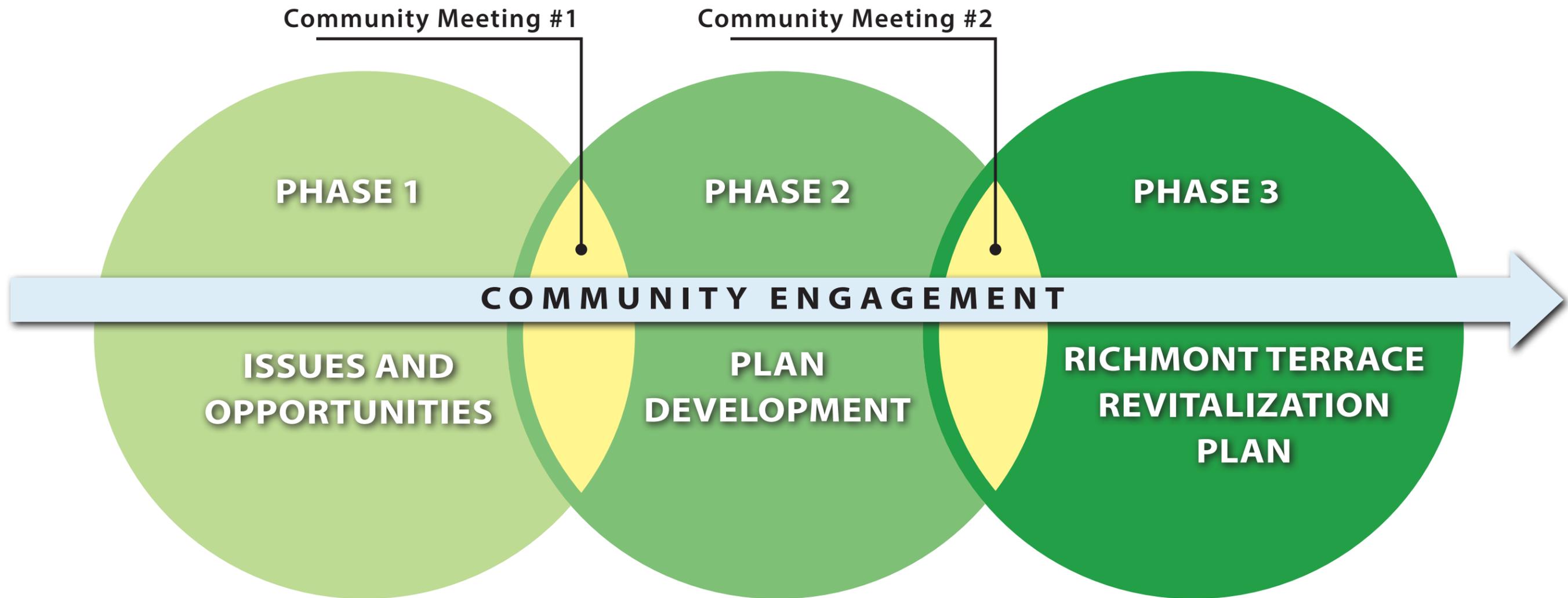
Progress to Date

Major highlights:

- Multiple ownership of multifamily properties presented challenges for acquisition.
- Consequently, Louisville Metro Government deployed a number of development strategies, to include, but not limited to: acquisition, rehabilitation, environmental clean-up, site maintenance and new construction.
- Louisville Metro Government has acquired and assembled foreclosed properties and currently owns 39 single and multi-family lots.
- 22 buildings have been demolished and the remaining vacant buildings are targeted for acquisition, demolition and rehabilitation.
- Rehabilitated structures include: 3422, 3424, 3425 and 3404 Shagbark Road.
- Recent demolitions include: 3400 Broadleaf Drive, 3418, 3419 and 3420 Shagbark Road.
- This development includes construction of 9 single family units and extensive infrastructure improvements.



Revitalization Plan Process



The planning process to create a Development Plan for the three-block area bounded by Shanks Lane, Oboe Drive, Richmond Road and Broadleaf Drive and outline design guidelines for compatible new single-family and multi-family housing was divided in three phases:

Phase 1: Issues and Opportunities

Phase 1 was comprised of inventory and analysis of current conditions to provide an understanding of the major issues and opportunities affecting the target area. This preliminary view was based on information provided by Louisville Metro and field study. The Phase culminated in a Community Meeting as an opportunity for the community to engage with the team and provide input on issues and opportunities of the area.

Phase 2: Plan Development

Based on field observations, existing conditions analysis, issues and opportunities and input received from the community conceptual Development Framework was created with preliminary design guidelines for new housing typologies.

Phase 3: Richmond Terrace Revitalization Plan

The Development Plan and guidelines were refined based on input from the Client Team and the community.

Community Meetings

The first Community Meeting was held on January 7th, 2016, at the Highland Park Missionary Baptist Church to engage different stakeholders and gather public input. The input from the meeting has been summarized and included as an Appendix.

The final Community Meeting was held on April 26th, 2016, at the Lake Dreamland Fire Station to present the Development Plan and Design Guidelines and garner community input and comments.



Existing Conditions



Context Map



1 The three-block 26-acre target area is roughly bounded by Shanks Lane, Broadleaf Drive, Richmond Road and Oboe Drive.



2 The intersection of Cane Run Road and Shanks Lane was identified as the main gateway into the neighborhood but not pedestrian friendly. There are opportunities for commercial development on vacant parcels along Shanks Lane.

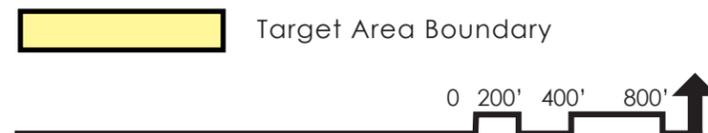


3 Cane Run Road is a major thoroughfare road with two lanes each way. It needs pedestrian improvements like crosswalks and streetscaping.

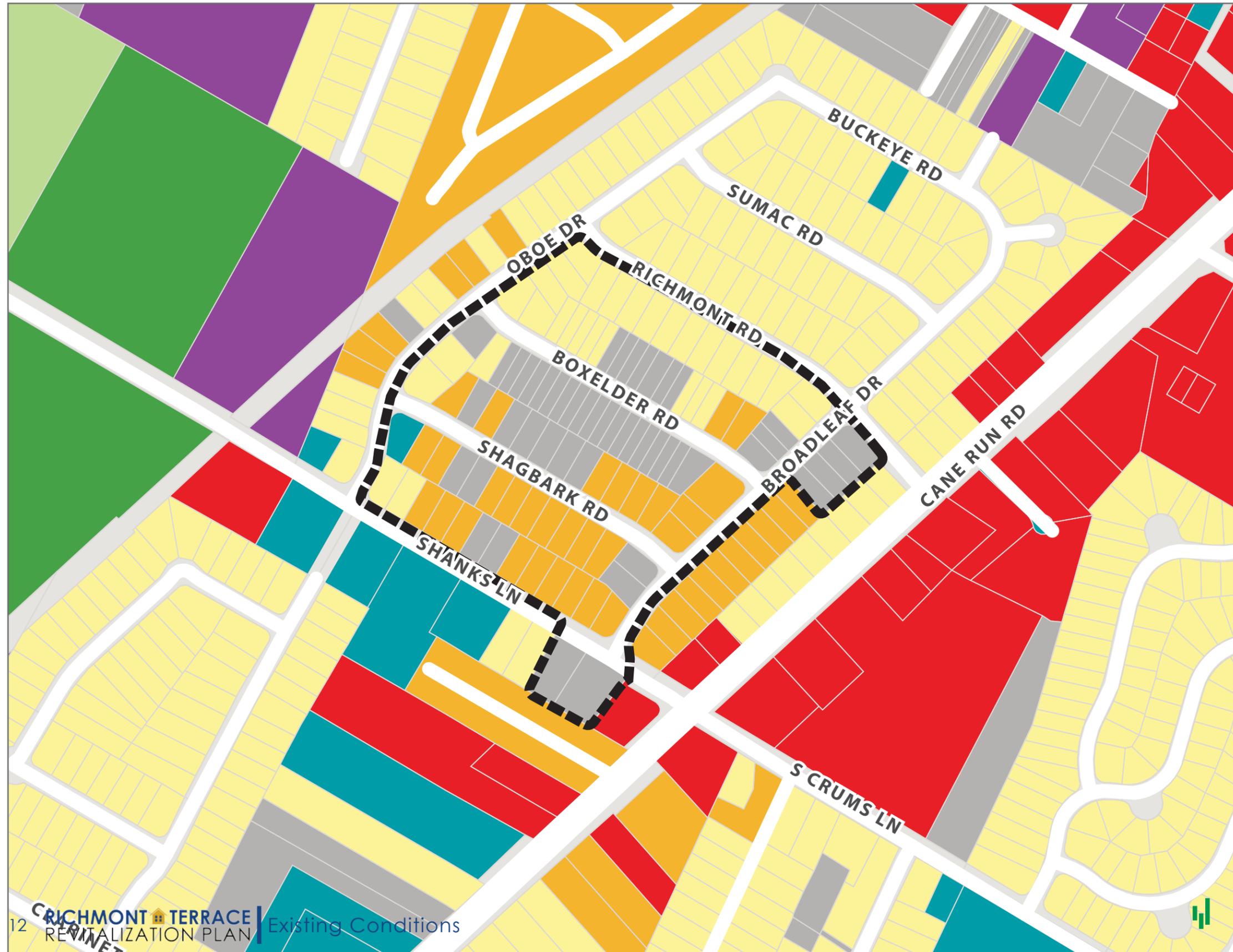


4 The neighborhood north of the target area is a stable residential area with mainly brick ranch-style houses.

The Highland Park Missionary Baptist Church located along Shanks Lane serves as a major anchor.



Existing Land Use

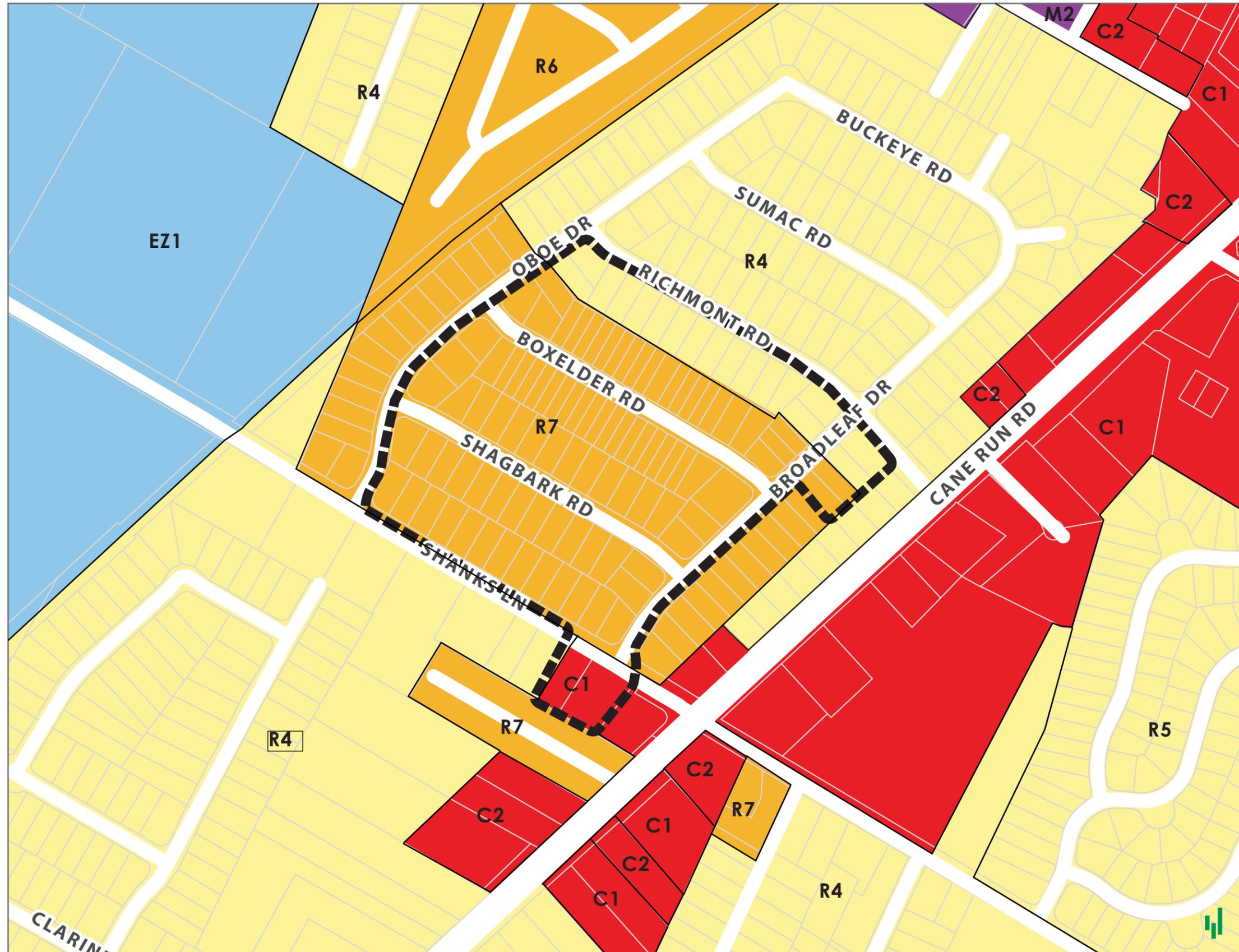


The existing land use within the target area is a mix of single family residential and multi-family residential with an increasing number of vacant properties along Shagbark Road and Boxelder Road, due to acquisition and demolition of blighted properties by Louisville Metro. The target area is surrounded by a mix of public/semi-public (church), commercial, industrial and parks and open spaces (Green Meadows Memorial Cemetery). The only small park within the target area, located along Oboe Drive, is owned and maintained by the Highland Park Missionary Baptist Church.

-  Target Area Boundary
-  Parcel
- Existing Land Use
 -  Single Family
 -  Multi-Family
 -  Commercial
 -  Industry
 -  Parks and Open Space
 -  Public and Semi-Public
 -  Farmland
 -  Vacant
 -  Right-Of-Way



Existing Zoning



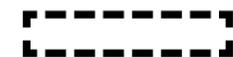
The majority of the subject properties are zoned R7 whereas the remainder are R4 and C1.

R4: Residential Single Family District
 Maximum Floor Area Ratio: 0.5
 Maximum Density: 4.84 dwelling units per acre

R7: Residential Multi-Family
 Maximum Floor Area Ratio: 1.0
 Maximum Density: 34.8 dwelling units per acre

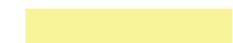
C1: Commercial District
 Maximum Floor Area Ratio: 1.0
 Maximum Density: 34.84 dwellings per acre

The target area falls under the Neighborhood Form District.

 Target Area Boundary

 Parcel

Existing Zoning

 Residential Single Family

 Residential Multi-Family

 Commercial

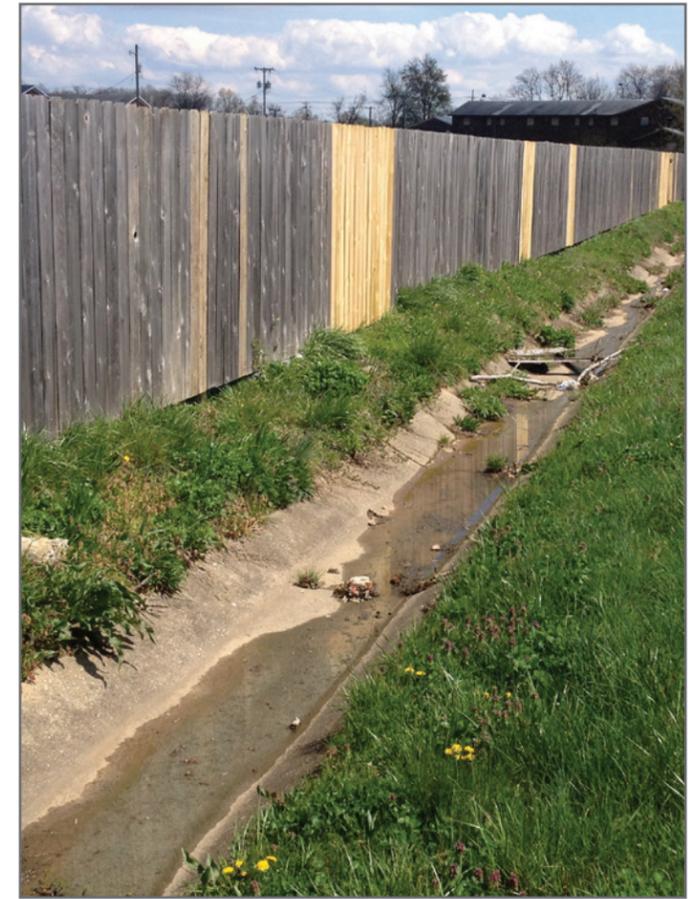
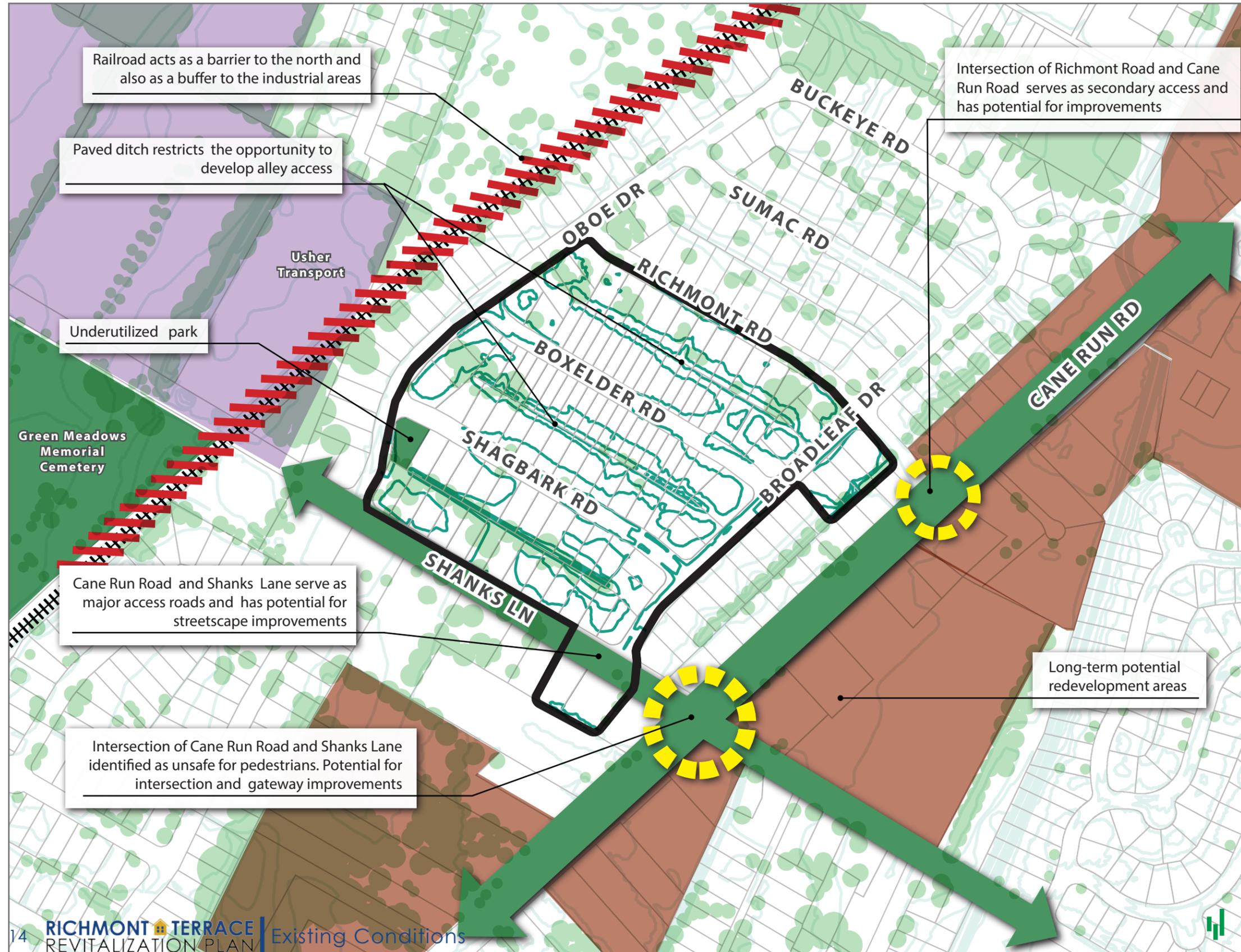
 Industrial

 Office

 Enterprise Zone

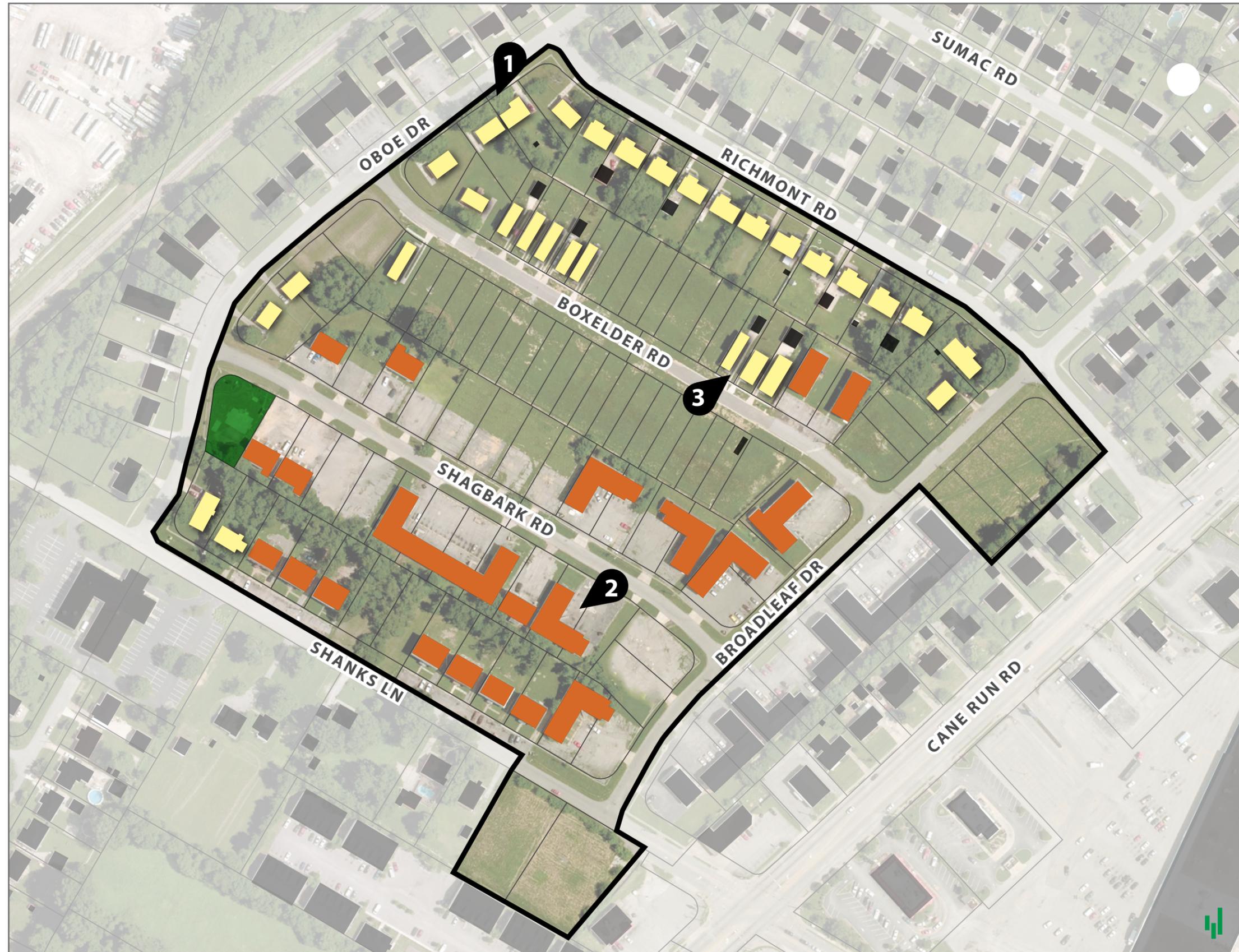


Urban Design Assessment



Paved ditch between the lots restricts creating alley access opportunity

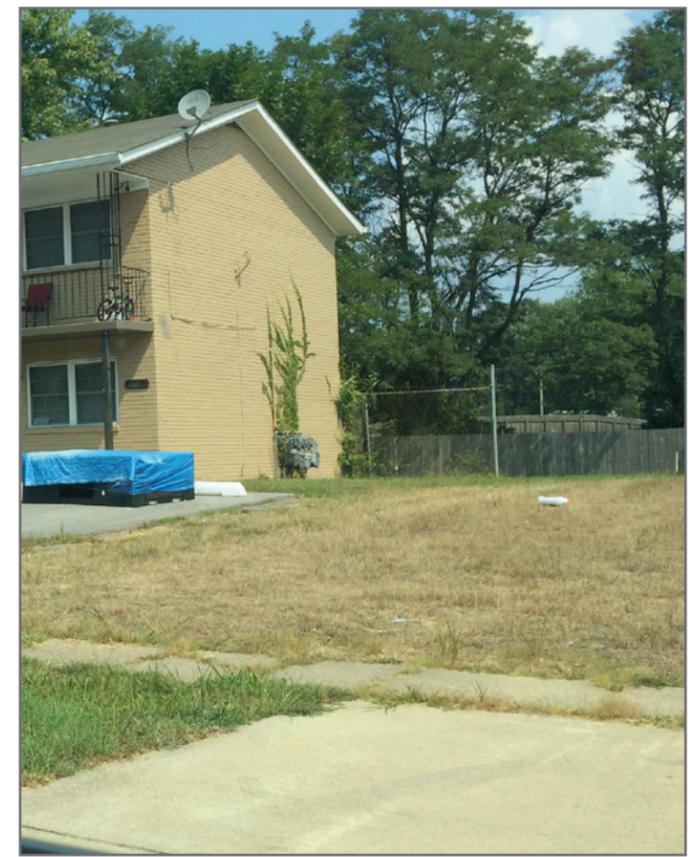
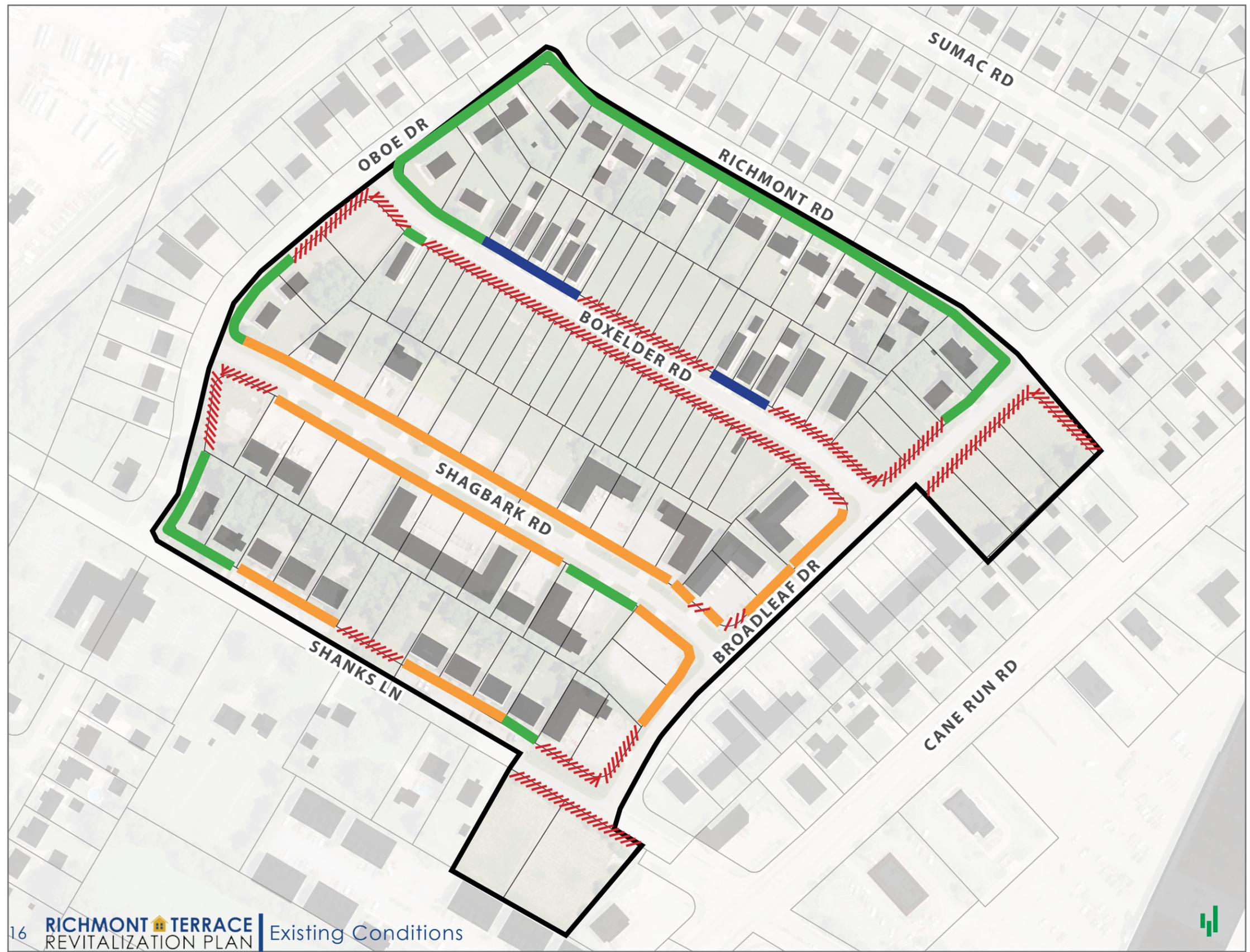
Existing Site



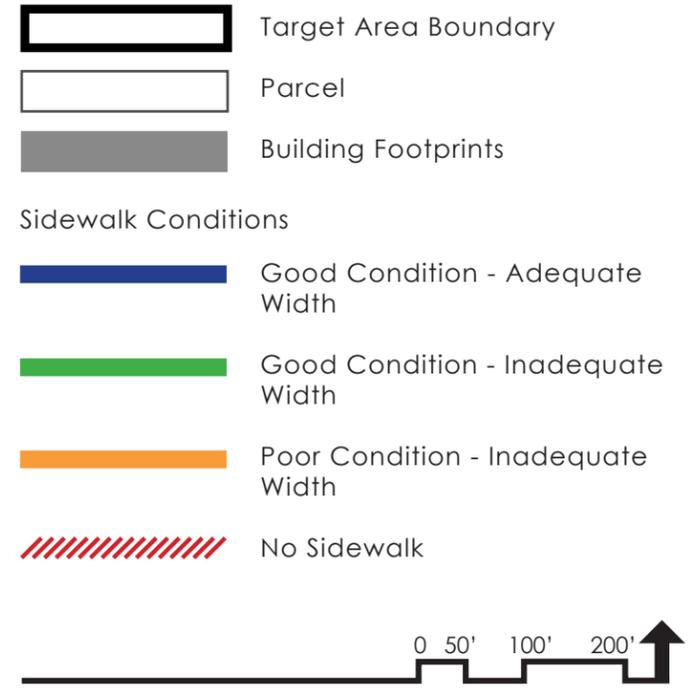
The existing target area consists of three types of housing, which forms the basis of the proposed new housing typologies and guidelines.



Sidewalk Conditions



Sidewalks in poor condition

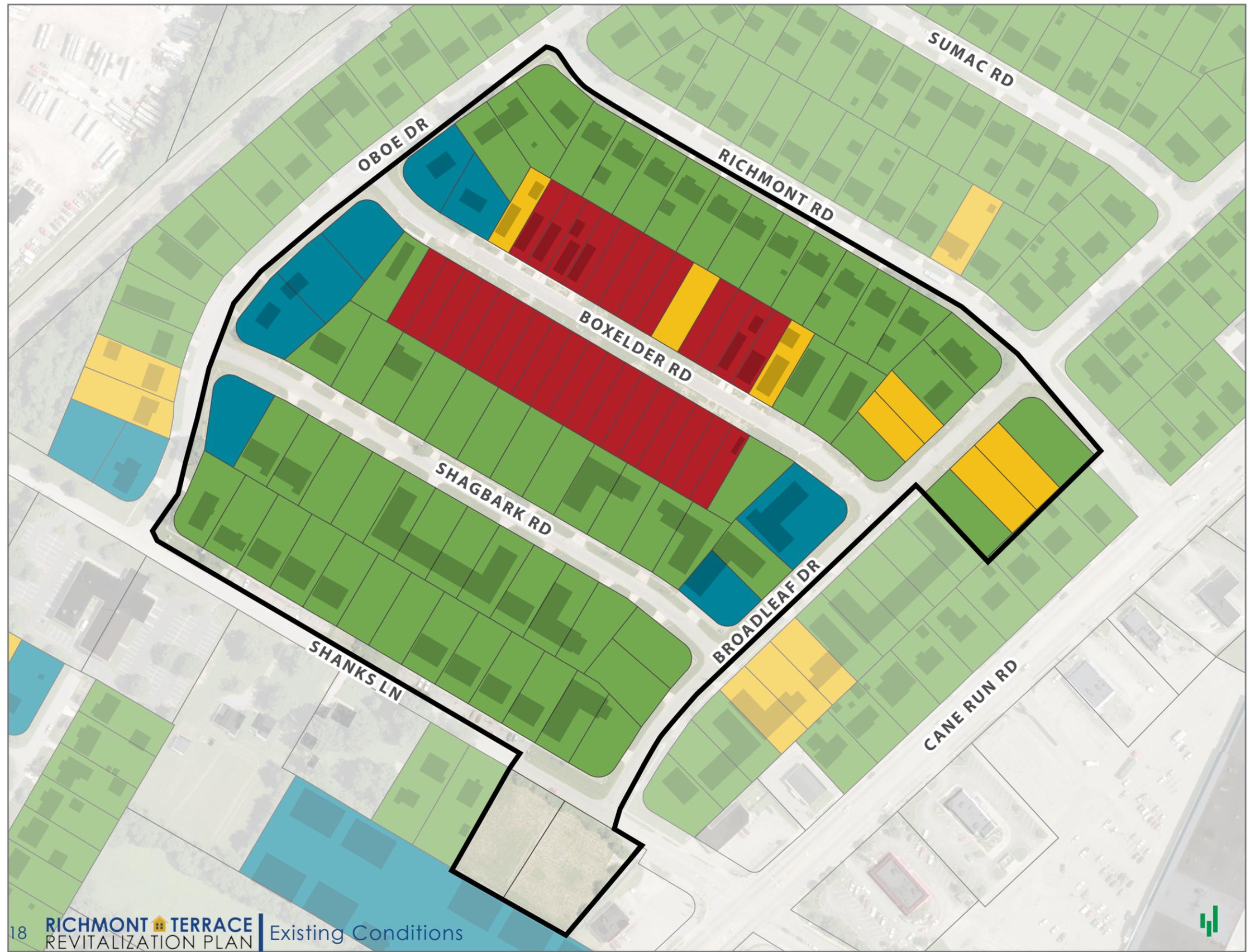


Neighborhood Housing Characteristics



The adjacent neighborhood North of Boxelder Road is composed of ranch style homes constructed in the 1960's and 1970's. The majority of the homes are one-story residences, with only one residence being a two-story home. The building material is brick, accompanied usually with a single soldier course beneath the roof-line. The homes are set on a concrete slab on grade, some with basements. Setbacks and landscaping seem consistent throughout the neighborhood.

Residential Building Lot Width

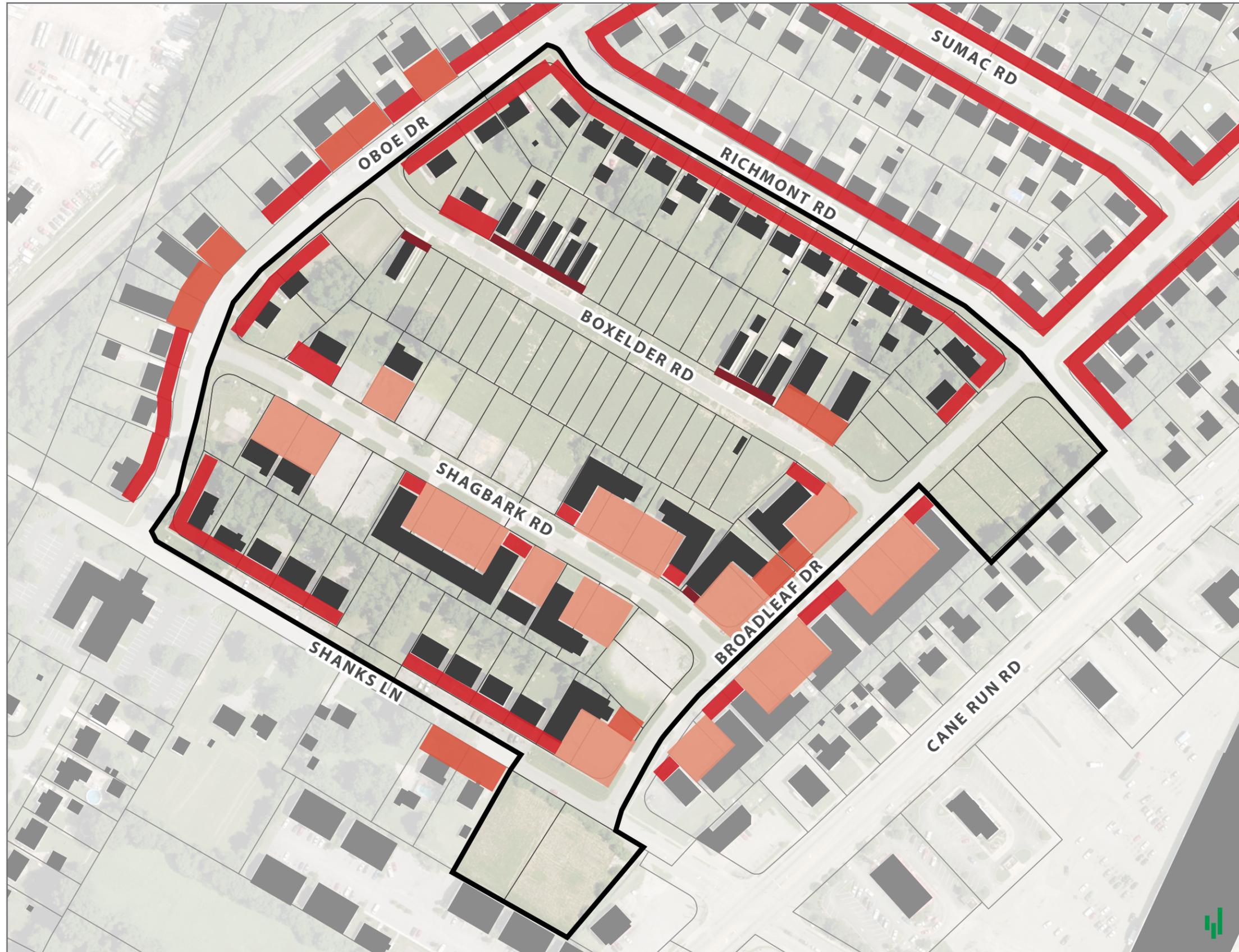


The residential lot width differs within the target area, with the majority being similar to the existing ranch-style housing with an approximate width of 62 feet.

-  Target Area Boundary
-  Parcel
-  Building Footprints
- Residential Lot Width**
-  Less than 40'
-  41' - 60'
-  61' - 80'
-  Greater than 80'



Existing Front Setbacks

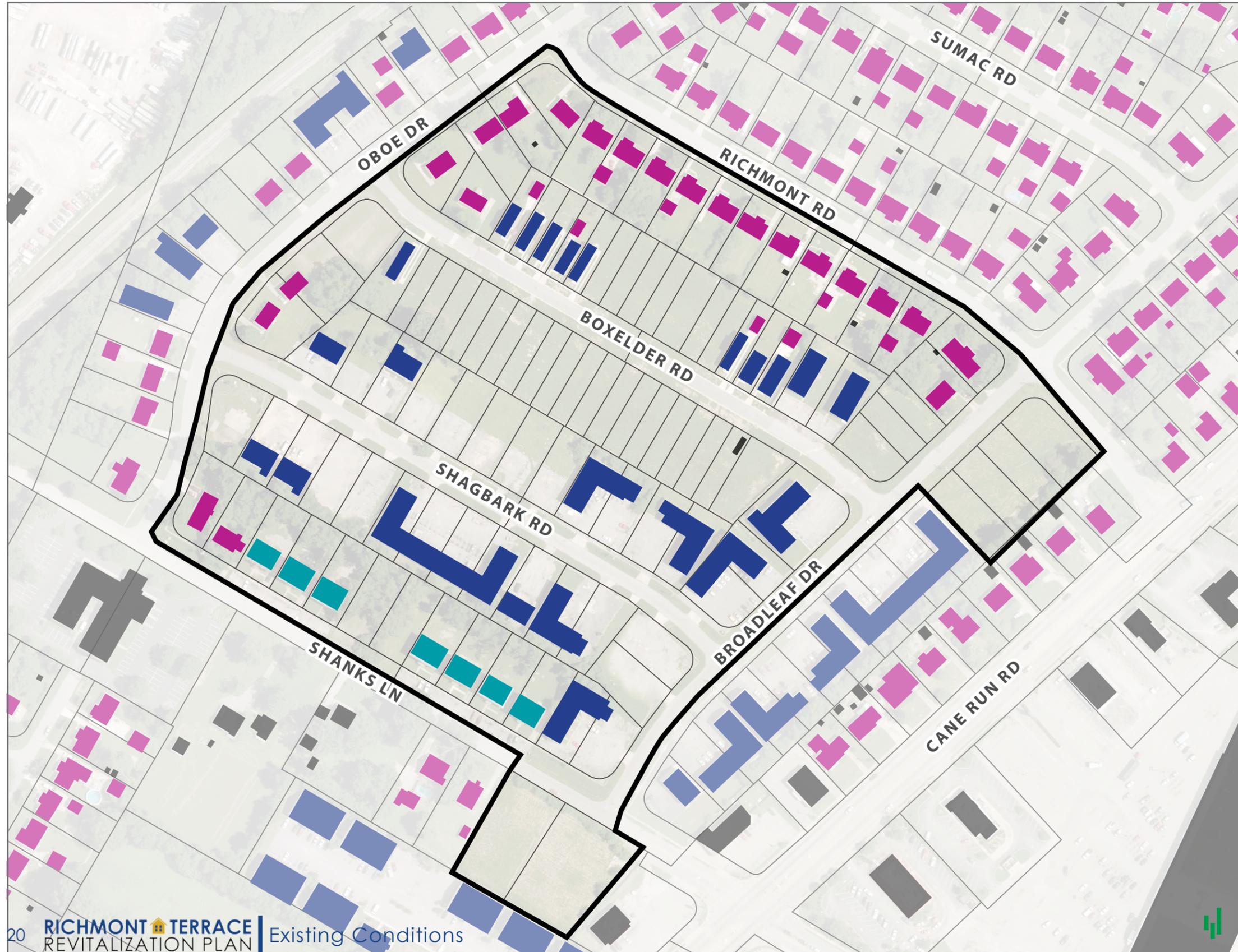


The residential building front setback varies throughout the neighborhood, with the multi-family buildings being setback more than the single family buildings.

- Target Area Boundary
- Parcel
- Building Footprints
- Front Setback
 - Less than 20'
 - 21' - 40'
 - 41' - 60'
 - 61' - 90'



Building Heights



The building height varies between 1 - 2.5 stories.

-  Target Area Boundary
-  Parcel
- Residential Building Heights**
-  1 Story
-  2 Story
-  2.5 Story
-  Non Residential Buildings

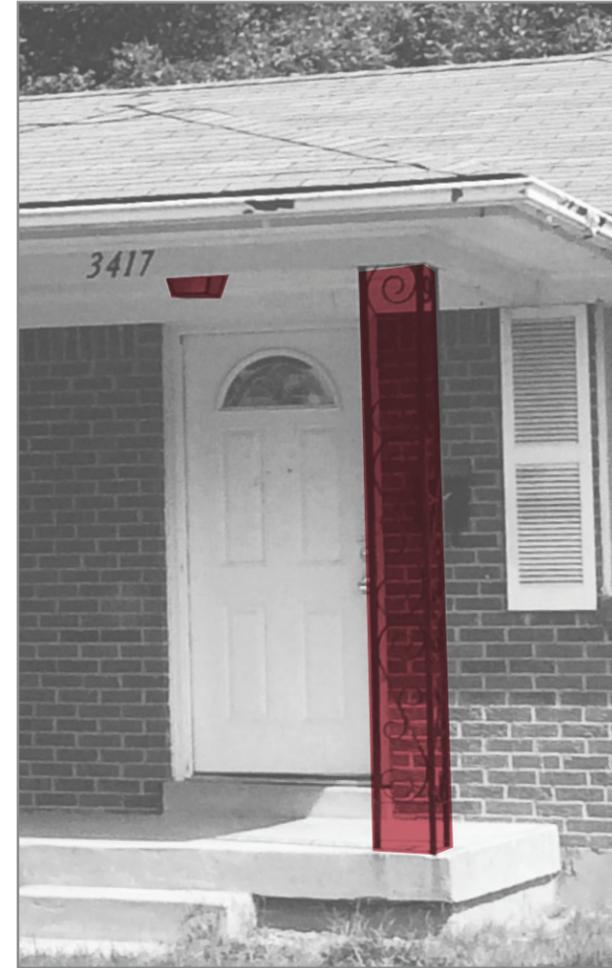


Parking



Single family houses have parking access through a driveway on one side of the building, with some having a rear garage. Multi-family units have parking located in the front of the building.

Housing Details



Front Porches

Front porch elements:

- Mostly covered porches with a flat, hip or gabled roof.
- Length of porch varies from a small entry space to half the length of the home.
- Concrete pad and steps. Number of steps vary with an average of two.
- Some concrete pads have been painted to match trim color.
- Porches with two or more steps typically have a railing on one or both sides.
- Entry to the porch is front access with a connection to the driveway
- Support columns vary in shape, material and ornamentation.
- Front porches/doors are typically off-center and closer to the driveway side of the house.

Light Fixtures, Columns + Trim

Light Fixture Elements:

- Light fixtures vary in style, shape and size.
- Typically adjacent to the door or located on the roof porch.

Column Elements:

- Columns vary in shape and material, with most homes having two ornamental metal columns.
- Simpler classical shaped columns are sometimes used.

Trim Elements:

- Simple trim around roof porch. Similar in style to main roof of the home.

Housing Details



Doors + Entrances

Door elements:

- Single door entrances.
- Door style varies from solid panel doors to paneled door with some ornamental glazing.
- Screen security door installed. Style and material varies per home.

Windows

Window Elements:

- Windows are of various shapes and sizes.
- Single/double hung windows. Some bay windows are also found throughout the residential area.
- Shutters on both sides of the window is typical for the neighborhood.
- Living room windows tend to be larger or paired/ganged, but not always. Some include picture windows.

Housing Details



Roof Shape + New Construction

Roof Elements:

- Hip or gabled sloped.
- Shingled roofs.
- Simple trim.
- Overhang varies per home.

Proposed Development Plan & Design Guidelines



Proposed Development Plan



The main goal of the Development Plan was to acknowledge the existing buildings and create a plan which was compatible to the surroundings. The plan proposes three infill housing typologies.

Category A: Narrow Lots Homes are designed to be compatible in scale and layout, with the existing narrow lot homes north of Boxelder Road.

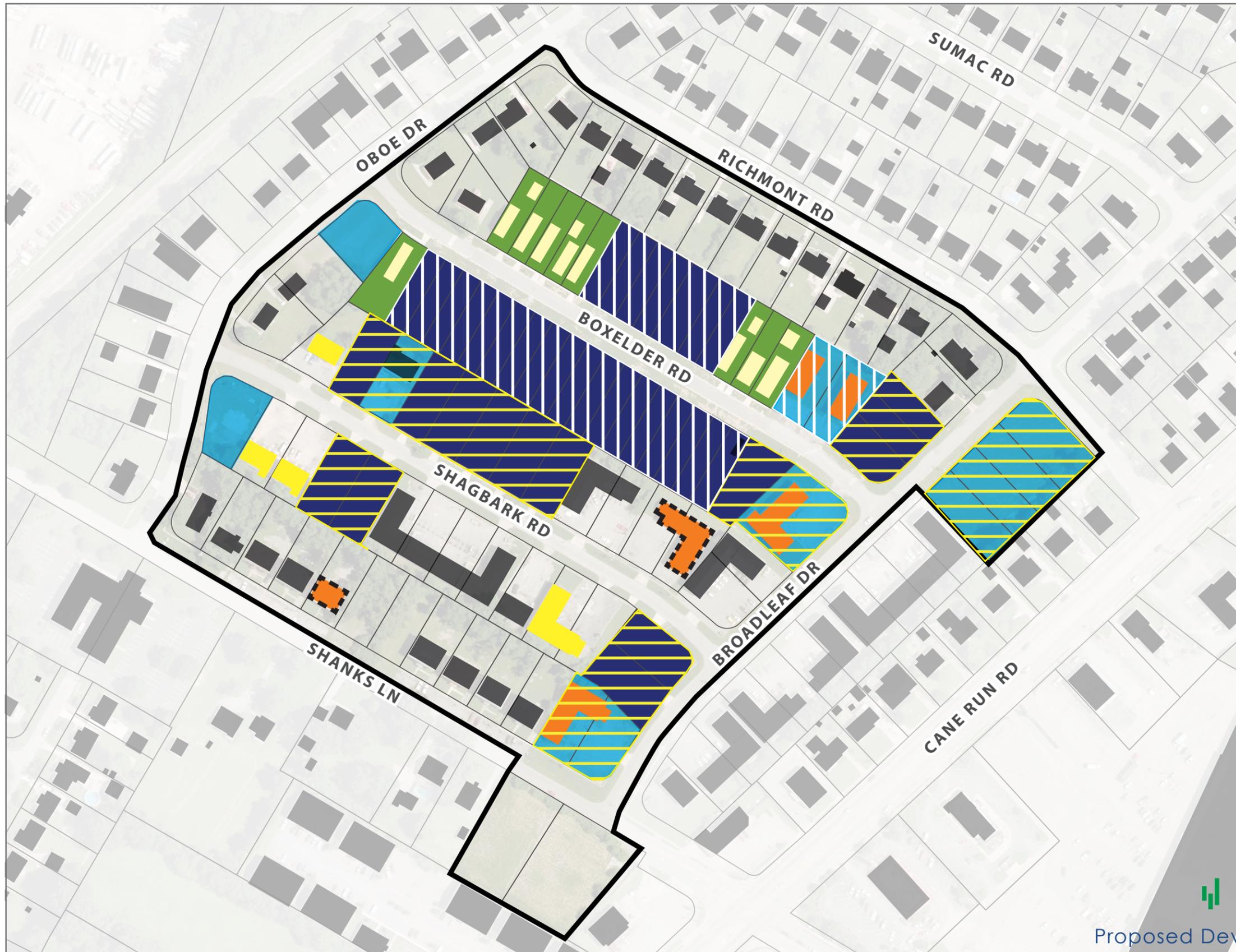
Category B: Wider Lot Homes are designed to be compatible in scale, dimension and character with the ranch-style original development patterns in the Richmond Terrace Community.

Category C: Multi-Family Duplex/Triplex are designed for infill development within the multi-family areas. Duplex/Triplex are proposed to create a better transition between the single family to the multi-family scale and character.

- Category A: Narrow Lot Homes
12 Homes
- Category B: Wider Lot Homes
12 Homes
- Category C: Multi-Family Duplex/Triplex
40 Units



Implementation - Site Strategy



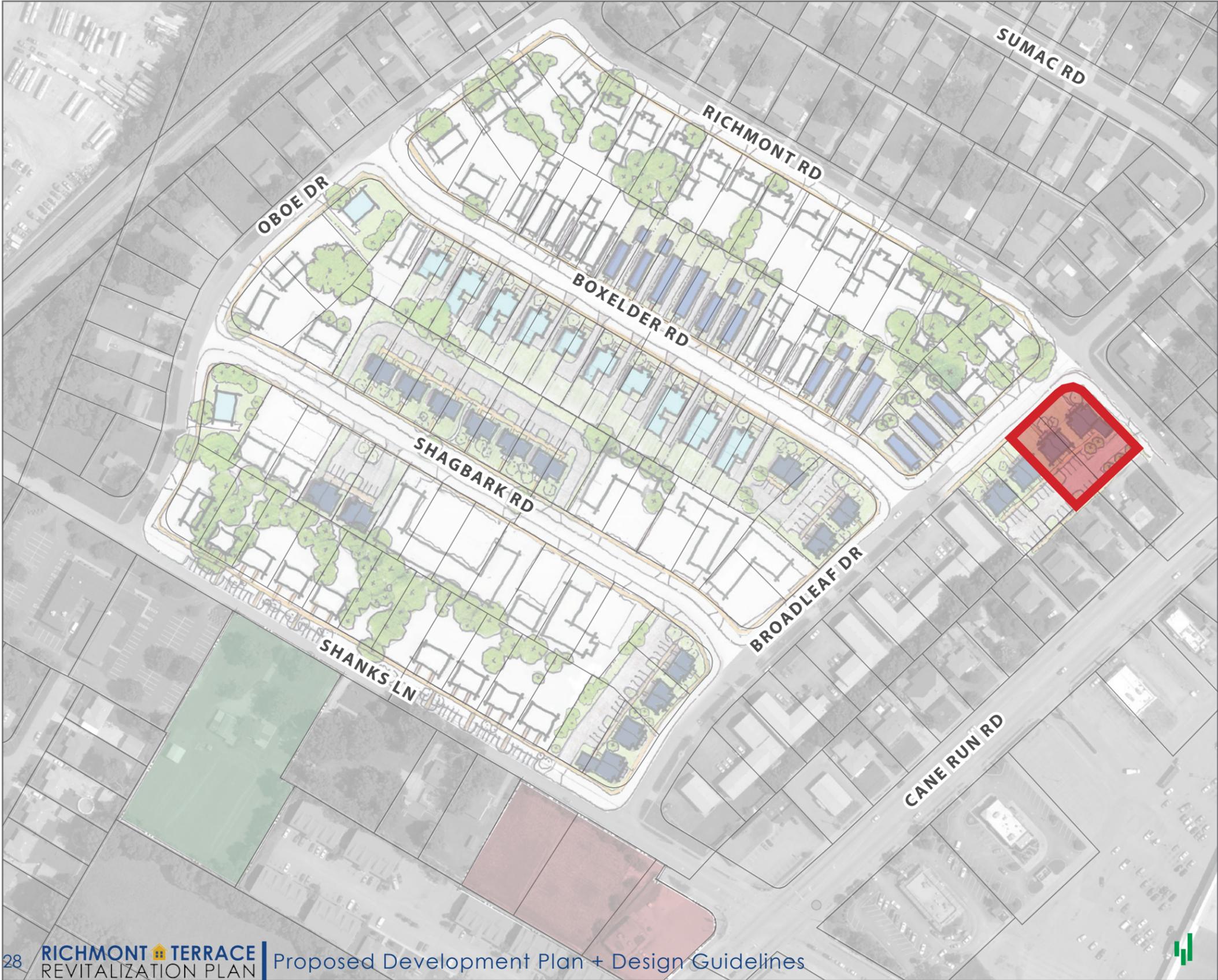
The adjacent map illustrates the site strategies recommended to implement the Development Plan. Strategies include property acquisition, re-subdivision, renovation and assemblage.

-  Target Area Boundary
-  Parcel
- Property Status
 -  Louisville Metro
 -  The Housing Partnership, Inc.
- Building Status
 -  Unoccupied/Vacant
 -  Recently Rehabbed
 -  New Construction
- Recommendations
 -  Potential Strategic Acquisitions
 -  Potential Re-subdivision*
 -  Potential Assemblage
 -  Potential Renovation

*Re-subdivision is recommended to create compatible lot widths. Due to re-subdivision the total number of lots are reduced by 8.



Implementation - Zoning Strategy



Zoning strategies to implement the Development Plan:

-  Rezoning needed from R-4 to R-7
- Properties:
 - 4501 Broadleaf Drive
 - 4503 Broadleaf Drive



Design Guidelines

Category A: Narrow Lot Homes

SITE STANDARDS

This category is designed to be compatible in scale and layout, with the existing narrow lot homes north of Boxelder Road.

Lot Resubdivision:

- Newly subdivided lots shall be consistent in width within each block face where feasible.
- Lots shall not be less than 42 feet wide.

Building Set Backs & Yards:

- Building primary facade line to match with the other existing structures.
- Greenway Zone: +/-14 foot grass strip between public street and public sidewalk.
- Sidewalk Zone: +/-4 foot public sidewalk, parallel to public street.
- Front Yard Zone: +/-15 foot private front yard – as measured to primary façade line, not front porch bump out.

Private Sidewalks:

- Provide a main sidewalk (one for each unit) that leads directly from the front porch to the public sidewalk.
- Sidewalk shall run straight and perpendicular to front house façade.

Building Orientation:

- Front doors and porches shall face the street.

House Widths & Depths:

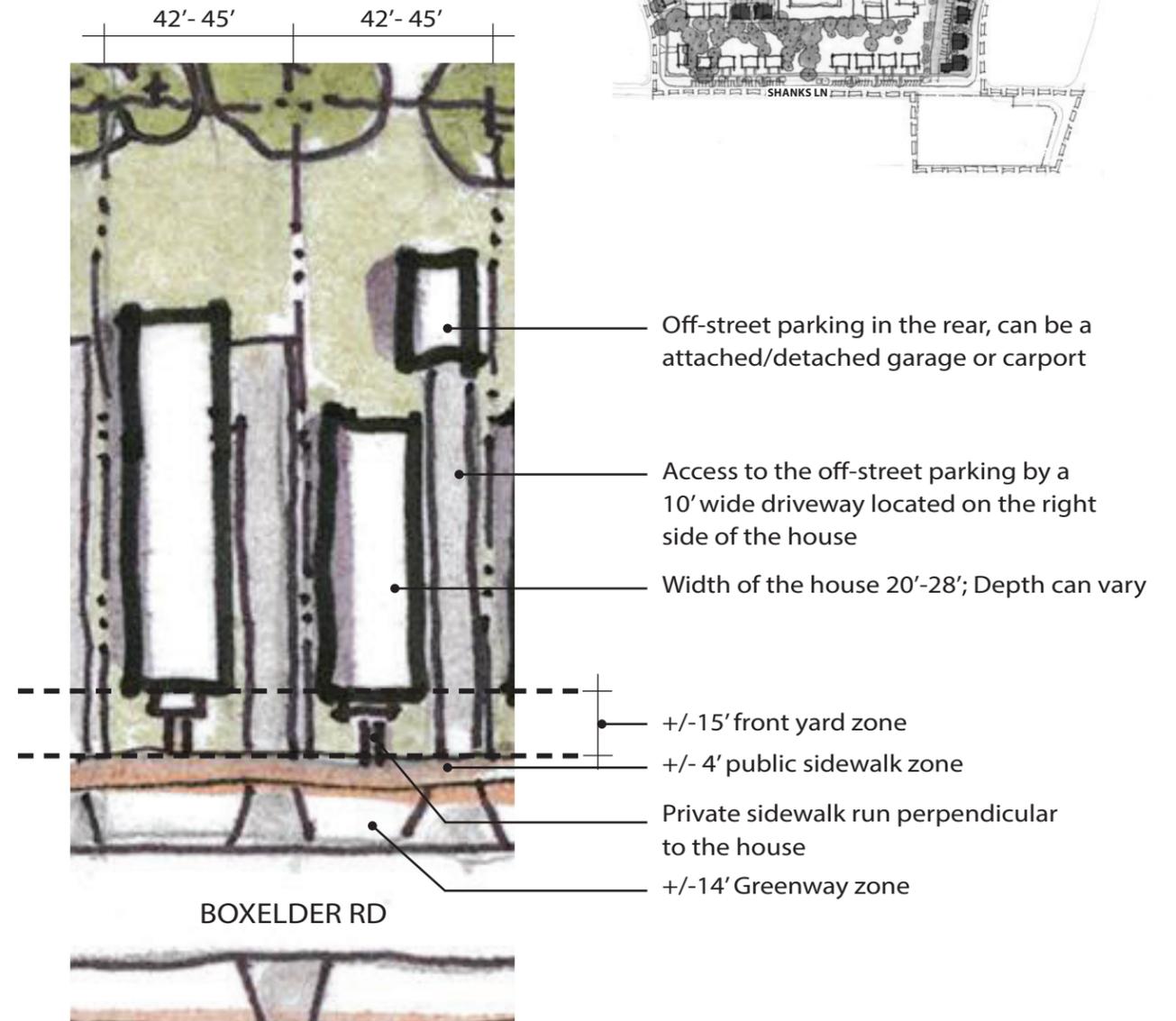
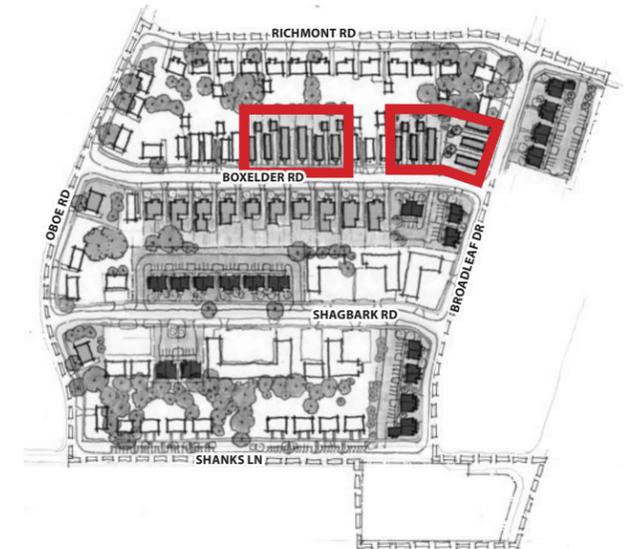
- Houses in mid-block locations shall be 20-28 feet wide.
- House depths can vary as needed to meet desired square footage needs.

Tree Preservation:

- Preserve existing trees, particularly larger old growth trees where feasible (in both front and back yards).

Off Street Parking/Garages:

- Garages/carpools shall be located on the lot so as to NOT be the dominant physical feature as seen from the street.
- Garages/carpools must be located at least 25 feet to the rear of the primary façade of the house.
- Garages/carpools can be attached or detached and can be 1- or 2-car.
- Garages are not mandatory; carports and parking pads are acceptable.
- Parking pads are not allowed in the Front Yard Zone.
- Driveways should be no more than 10 feet in width in the front yard zone (between the front façade and public sidewalk).
- Driveways can widen up to 18 feet in width at a point that is behind the line of the primary house façade.
- Driveways should flare to 15 feet in the Greenway Zone.
- Driveways should be located on the right side of the house to preserve a consistent spacing within a block face, unless there is a conflict with the existing utility and easement locations.



Design Guidelines

Category A: Narrow Lot Homes

ARCHITECTURAL STANDARDS

This category is designed to be compatible in scale and layout, with the existing narrow lot homes north of Boxelder Road.

Styling/Details:

- Houses shall incorporate simple arts & craft styling so as to be compatible with the adjacent newer buildings.
- House detailing shall not be overly ornate but may include eaves brackets, window headers/sills and brick banding/patterning.
- Fascia and rake boards shall be a minimum of 6 inches wide (nominal).

Roof Forms:

- Primary roof shall be gabled running perpendicular to the street.
- Porch roofs can be gabled or hipped.
- Primary roof slope shall be between 6:12 and 12:12; Porch roof slope can be as low as 3:12.
- Roof overhangs shall be consistent and shall be at least 12 inches.

Façade Symmetry:

- Front facades shall be generally symmetrical in the overall shape of the building, porch and roof.

Building Heights:

- Buildings can be 1 - 2 story tall.
- Finished ground floor elevations shall be a minimum of 2 feet above the ground. (Slab on grade is allowed.)

Front Porches & Stoops:

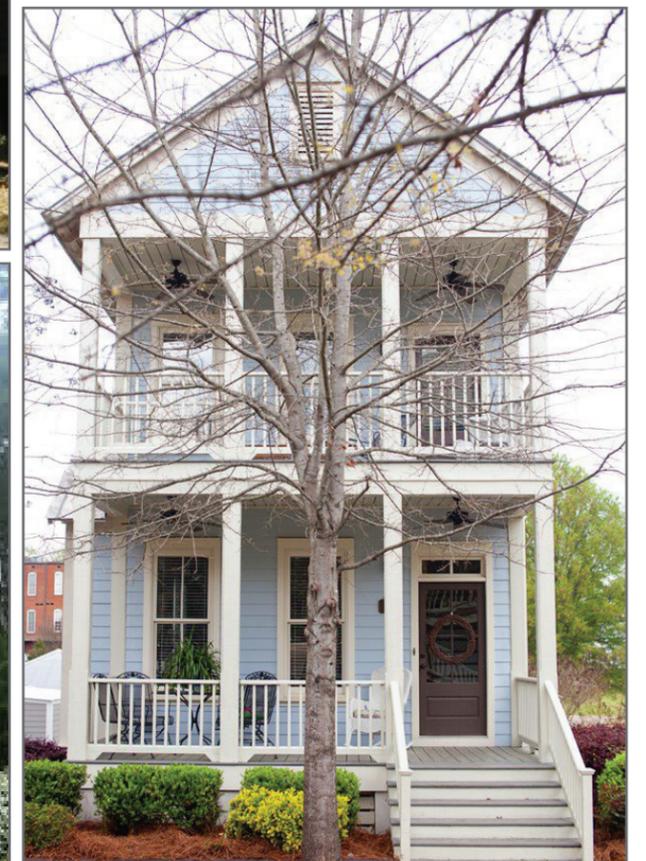
- Front porches/stoops are required to be full width of the house.
- Porch columns should be round or square or tapered with a base and capital; No wrought iron or fluting allowed.

Windows & Doors:

- Window and door trims shall be a minimum of 6 inches wide.
- Windows shall be double hung (except small accent windows) - upper panel shall have divided lights, while bottom panel shall not.
- Shutters, where used, shall be properly sized to the openings.

Materials:

- Primary siding material shall be lap siding, but brick can be used as the accent but only as a base/apron (no higher than finish floor).
- Accent materials can include brick, fiber cement board horizontal lap siding, wood lap siding or stone.
- Shake siding shall be allowed for gable accents.
- Varieties in color, style and pattern are encouraged from house to house.
- Building shall be detailed with a "base" where the building meets the ground. Base can be marked by a change of material, color or brick patterning or combinations thereof and should be a minimum of 2 feet off the ground.



Design Guidelines

Category B: Wider Lot Homes

SITE STANDARDS

This residential category is designed to create new infill housing development that is compatible in scale, dimension and character with original development patterns in the Richmond Terrace Community.

Lot Resubdivision:

- Newly subdivided lots shall be consistent in width within each block face where feasible.
- Lots shall be as close to 62 feet wide as possible but can be between 57 feet and 67 feet wide (as long as they are consistent within a block face).
- Avoid assembly of multiple individual lots to create consolidated overly wide lots.
- Corner lots can be up to 80 feet wide.
- Interior edge lots (on the short side of blocks) can be up to 70 feet wide.

Building Set Backs & Yards:

- Greenway Zone: +/- 14 foot grass strip between public street and public sidewalk.
- Sidewalk Zone: +/- 4 foot public sidewalk, parallel to public street.
- Front Yard Zone: +/- 26 foot private front yard – as measured to primary façade line, not front porch bump out.

Private Sidewalks:

- Provide a main sidewalk (one for each unit) that leads directly from the front porch to the driveway to match existing neighborhood patterns.
- Sidewalk should not be curvilinear.

Building Orientation:

- Front doors and porches shall face the street.
- Houses on corner lots shall face the long edge of the block.

House Widths & Depths:

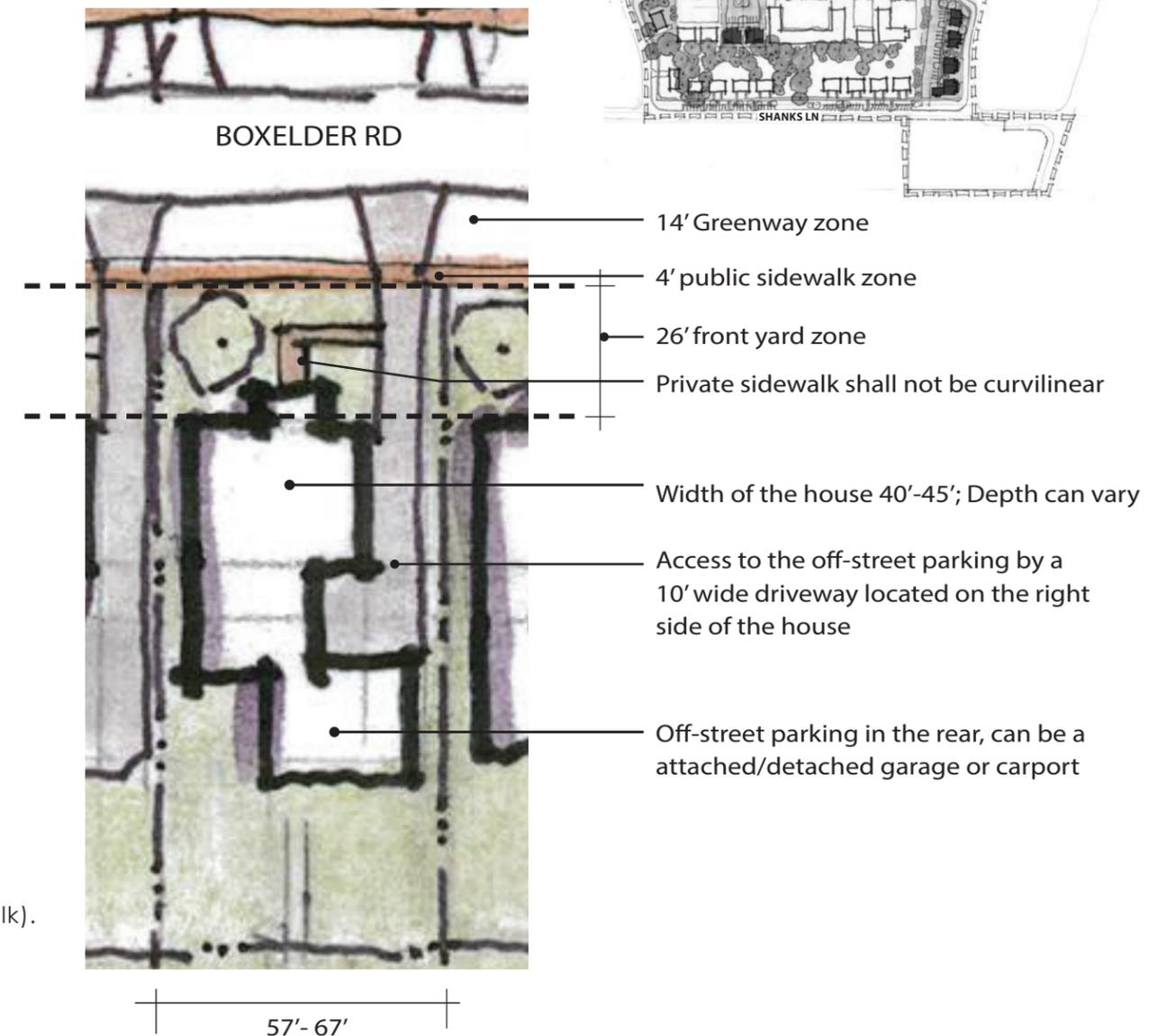
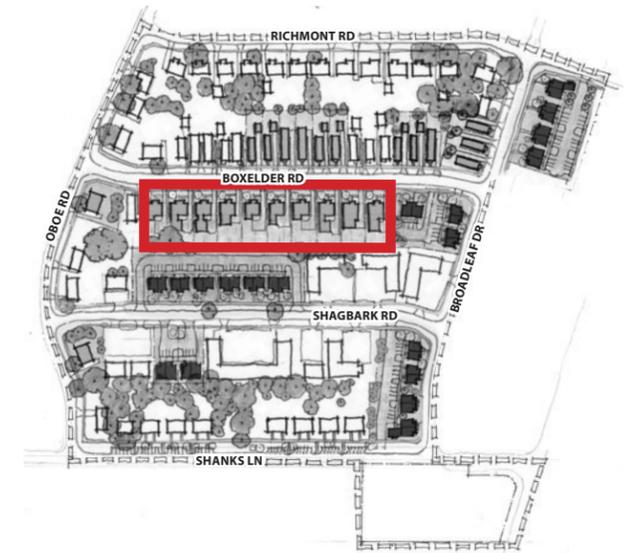
- Houses in mid-block locations shall be 40-45 feet wide.
- Houses on corner lots shall be 55-60 feet wide.
- House depths can vary as needed to meet desired square footage needs.

Tree Preservation:

- Preserve existing trees, particularly larger old growth trees where feasible (in both front and back yards).

Off Street Parking/Garages:

- Garages/carports shall be located on the lot so as to NOT be the dominant physical feature as seen from the street.
- Garages/carports must be located at least 25 feet to the rear of the primary façade of the house.
- Garages/carports can be attached or detached and can be 1- or 2-car.
- Garages are not mandatory; carports and parking pads are acceptable.
- Parking pads are not allowed in the Front Yard Zone.
- Driveways should be no more than 10 feet in width in the front yard zone (between the front façade and public sidewalk).
- Driveways can widen up to 18 feet in width at a point that is behind the line of the primary house façade.
- Driveways should flare to 15 feet in the Greenway Zone.
- Driveways should be located on the right side of the house to preserve a consistent spacing within a block face, unless there is a conflict with the existing utility and easement locations.



Design Guidelines

Category B: Wider Lot Homes

ARCHITECTURAL STANDARDS

This residential category is designed to create new infill housing development that is compatible in scale, dimension and character with original development patterns in the Richmond Terrace Community.

Styling/Details:

- Houses shall incorporate simple ranch styling so as to be compatible with the existing building stock.
- House detailing shall not be overly ornate but may include eaves, window headers/sills and brick banding/patterning.
- Fascia and rake boards shall be no more than 6 inches wide (nominal).

Roof Forms:

- Primary roof shall be either hipped or gabled.
- As viewed from the street, primary ridge line shall be parallel to the street.
- 1 small cross gable is allowed on front facade.
- Roof forms should be relatively simple (as viewed from the street) and free of front dormers.
- Rear roof forms can vary; dormers are allowed in the rear as long as not visible from the street.
- Roof slope shall be between 3:12 and 6:12 so as to maintain an overall low profile (as viewed from the street) to reflect the "close to the ground" styling of American ranch homes.
- Roof overhangs shall be consistent and shall be at least 18 inches.

Façade Symmetry:

- Front facades shall be asymmetrical in placement of windows, porch and front door.
- Front porches/stoops shall be off set and located on the same side as the driveway.

Building Heights:

- Buildings shall appear to be 1 story tall (as viewed from the street) to reflect the "close to the ground" styling of American ranch homes.
- Cornice/eave heights should be no more than 12 feet off the ground.
- Finished floor elevations shall be a minimum of 2 feet above the ground. (Slab on grade is allowed.)

Front Porches & Stoops:

Front porches/stoops shall be a minimum of 10 feet wide by 7 feet deep.

Windows & Doors:

- Living room windows should be ganged/paired and/or larger than bedroom windows so as to create a point of emphasis on the front façade.
- Shutters, where used, should be properly sized to the openings (except ganged windows).

Materials:

- Primary siding material shall be brick as viewed from the street.
- Accent materials can include fiber cement board horizontal lap siding, wood lap siding or stone.
- Varieties in color, style and pattern and encouraged from house to house.



Design Guidelines

Category C: Multi-Family Duplex/Triplex

SITE STANDARDS

This category is designed for infill development within the multi-family areas, to create a better transition between the single family to the multi-family scale and character.

Building Placement:

- Individual buildings should be spaced (+/- 62') to match the pattern of the neighborhood and mimic the 62 foot wide single family lot size.
- Assembly of multiple individual lots is required for the purposes of sharing access to the rear parking and reducing curb cuts.

Building Set Backs & Yards:

- Greenway Zone: +/-14 foot grass strip between public street and public sidewalk.
- Sidewalk Zone: +/- 4 foot public sidewalk, parallel to public street.
- Front Yard Zone: +/- 26 foot private front yard – as measured to primary façade line, not front porch bump out, to match the existing pattern of the single family houses.

Private Sidewalks:

- Provide a main sidewalk that leads directly from the front porch to the public sidewalk.
- Each unit shall have a dedicated access to the rear parking.
- Additional pedestrian access in-between buildings are encouraged every 180-250 feet interval.

Building Orientation:

- Front doors and porches shall face the street.
- Buildings on corner lots shall face the long edge of the block.

Building Size:

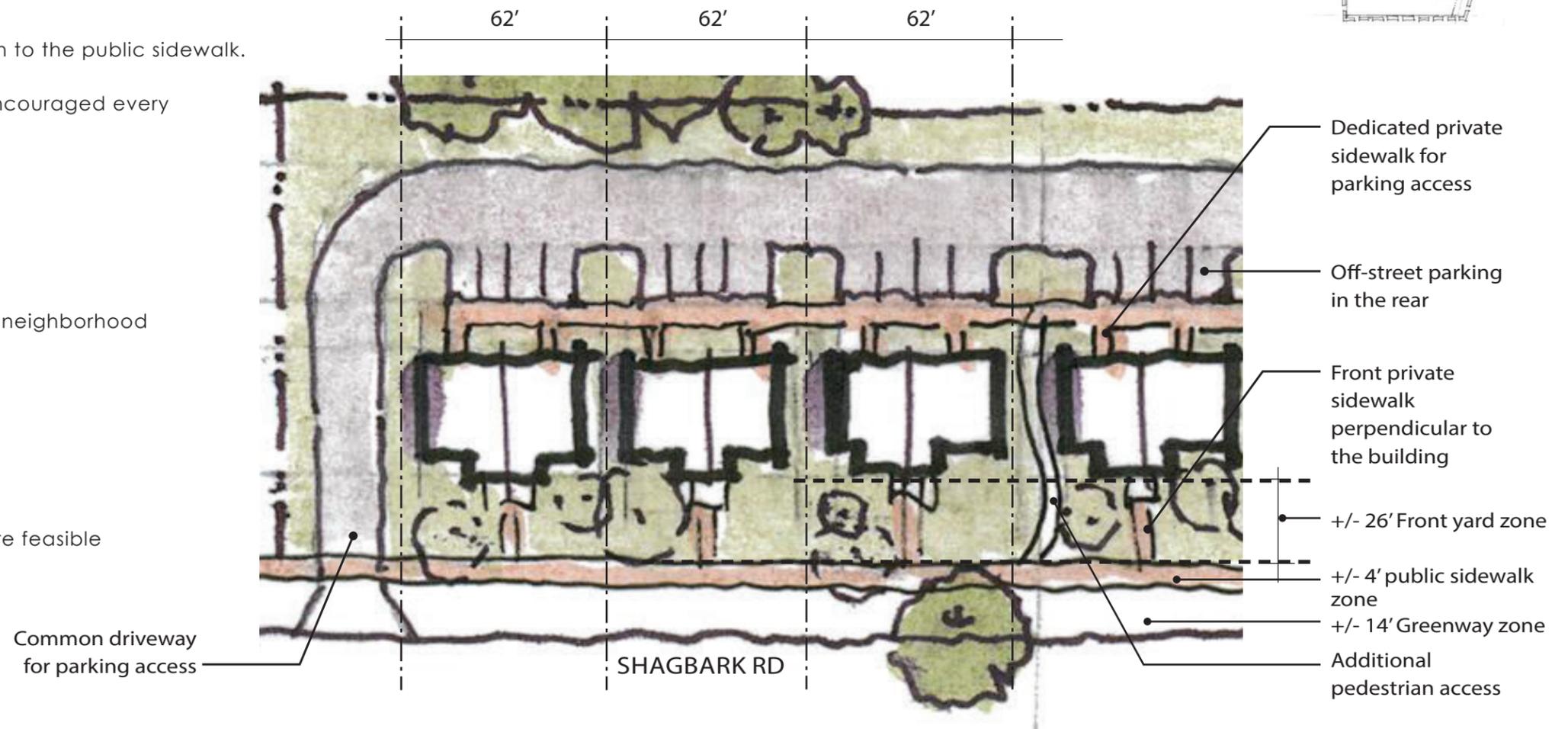
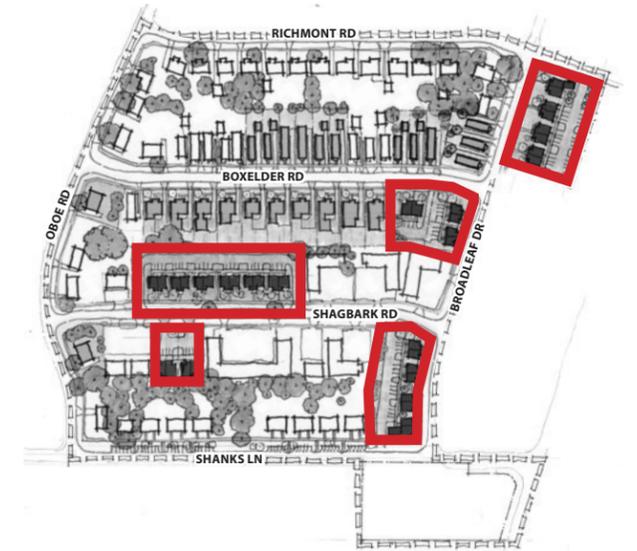
- Buildings should be designed to look like large houses to fit the neighborhood character.
- There shall be no more than 3 multi-family units per building.
- Buildings in mid-block locations shall be 48-55 feet wide.
- Buildings on corner lots shall be 55-60 feet wide.
- Building depth shall be 40-50 feet.

Tree Preservation:

- Preserve existing trees, particularly larger old growth trees where feasible (in both front and back yards).

Off Street Parking:

- Newly built buildings are required to have rear off-street parking, unless the lot dimensions are constrained.



Design Guidelines

Category C: Multi-Family Duplex/Triplex

ARCHITECTURAL STANDARDS

This category is designed for infill development within the multi-family areas, to create a better transition between the single family to the multi-family scale and character.

Styling/Details:

- House detailing shall not be overly ornate but may include eaves brackets, window headers/sills and brick banding/patterning.
- Fascia and rake boards shall be a minimum of 6 inches wide (nominal).

Roof Forms:

- Primary roof shall be either hipped or gabled.
- Roof forms should be relatively simple (as viewed from the street) and gable and dormers are allowed.
- Roof slope shall be between 4:12 and 8:12.
- Roof overhangs shall be consistent and shall be at least 18 inches.

Façade Symmetry:

- Front facades shall be generally symmetrical in placement of windows, porch and front door.

Building Heights:

- Buildings shall be no more than 2 story tall.
- Cornice/eave heights shall be no more than 24 feet off the ground.
- Finished ground floor elevations shall be a minimum of 2 feet above the ground. (Slab on grade is allowed.)

Front Porches:

- Front porches are required and shall be a minimum of 12 feet wide and 7 feet deep.
- Front porch shall have a minimum of two columns, which shall be a minimum of 8 inches wide.
- Porches can be provided for individual unit entries or can be combined for shared access.

Windows & Doors:

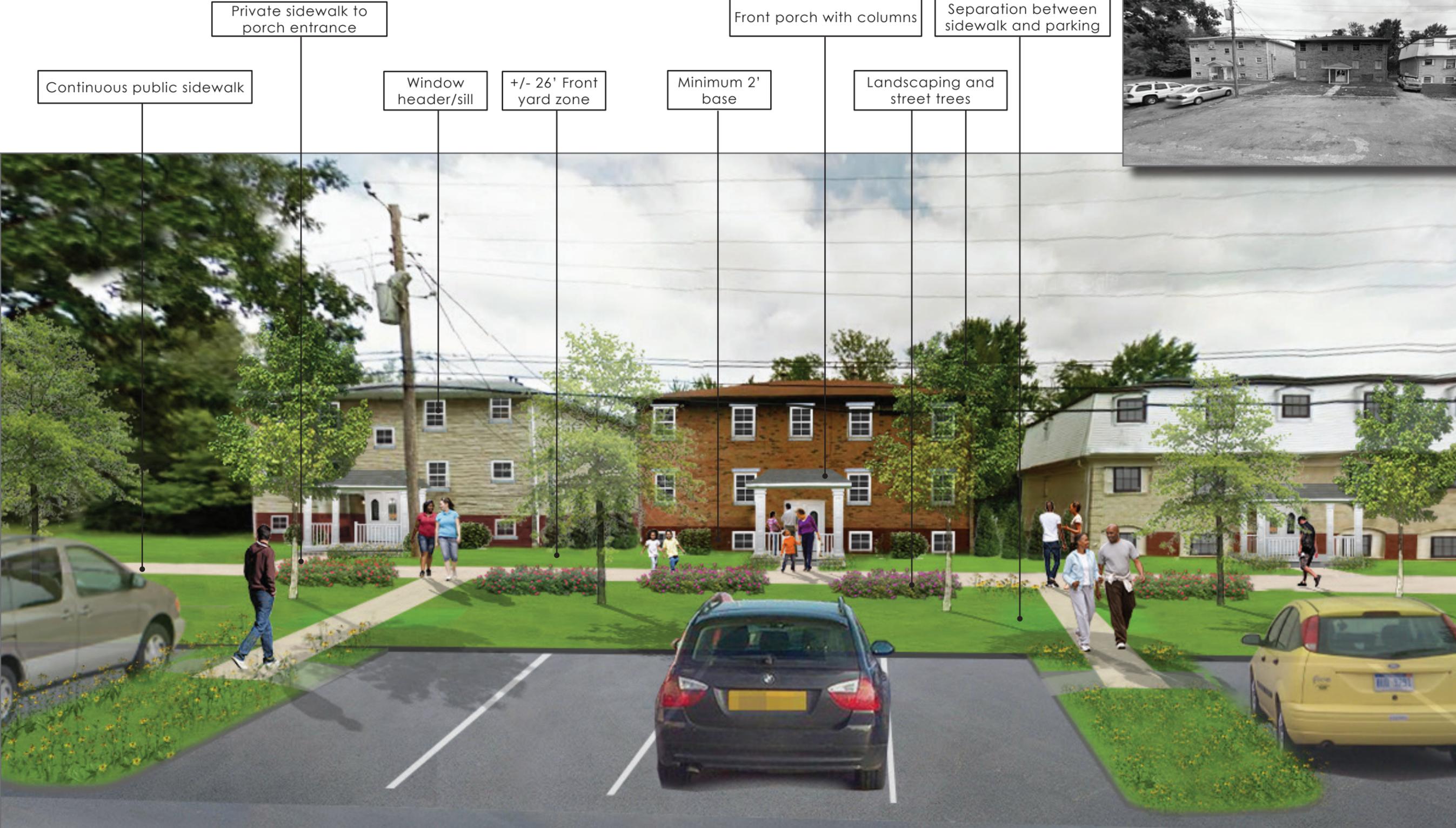
- Ground floor windows shall be large/ganged/paired so as to create a point of emphasis on the front façade.
- Shutters, where used, should be properly sized to the openings.

Materials:

- Primary siding material shall be brick or lap siding as viewed from the street.
- Accent materials can include fiber cement board horizontal lap siding, wood lap siding, brick or stone.
- Varieties in color, style and pattern are encouraged from house to house.
- Building shall be detailed with a "base" where the building meets the ground. Base can be marked by a change of material, color or brick patterning or combinations thereof and should be a minimum of 2 feet off the ground.



Multi-family Guidelines: Shanks Lane



Recommendations for Existing Multi-family Dwellings

Existing multi-family dwellings can make adjustments that will enhance their living conditions and create a more cohesive neighborhood.

Addition of landscape and/or street trees where possible.

Provide porch lights.

Repoint brickwork as needed.

Doors maybe painted or replaced for variety.

Replace broken/cracked windows to match existing. Provide shutters and/or sill/header details.

Parking lot should be well lit.

Replace existing wrought iron columns with thicker solid columns.

Reconfigure parking lot to allow a safer path for pedestrians. Where possible, provide a green buffer between parking lot and front entrances to units.

Provide a visual barrier for the dumpsters. Locate dumpsters at rear and away from the public sidewalk where possible.

Provide a safe pedestrian sidewalk that connects the main entrance to public sidewalk.

Provide a continuous public sidewalk.

Provide a greenway zone between the street and the public sidewalk.



Appendix

Community Meeting #1 Summary

Community Meeting January 7, 2016

Location: Highland Park Missionary Baptist Church
Time: 6:00 p.m. - 8:00 p.m.
No. of attendance: 18

Louisville Metro's Division of Housing and Community Development along with their consultants, Lord Aeck Sargent hosted their first public workshop for the neighborhood of Richmond Terrace on January 7, 2016. The goal was to provide the community with an assessment of existing conditions and to gather their input through three interactive exercises.

- Exercise #1: Change/No Change
- Exercise #2: Issues + Opportunities
- Exercise #3: Neighborhood Characteristics



STRATEGIC CHALLENGE:

On the map place a:

- Red Dot: An area that you think should be preserved and remain as is/no change.
- Green Dot: An area that you think could be changed, improved, or developed.

■ If you have a specific comment on the map, please feel free to write it on a Post-It and attach it to the map.



Exercise #1: Change/No Change

Participants were asked to place a red dot in the areas they felt should be preserved and a green dot in the areas that could be changed, improved or developed. Post-it notes were also encouraged if the public had any additional comments regarding the site.

The corner park on Shagbark Road and Oboe Drive, along with the Highland Park Missionary Baptist Church received the most votes for preservation.

The apartments on Shanks Lane and some single family residences adjacent to the study boundary received the most requests for change.

Exercise #2: Issues + Opportunities

Participants were given Post-It notes to provide issues and opportunities they saw for the neighborhood using the following themes:

- Neighborhood
- Housing
- Open Space/Identity

For the neighborhood theme, the public noted the need for recreational space and code enforcement. In regards to housing, the participants were open to different housing typologies that were appropriate in size and scale to their community. In regards to open space/identity, there was a general consensus for more code enforcement and additional recreational space.

RICHMONT TERRACE ISSUES AND OPPORTUNITIES <small>REVITALIZATION PLAN</small>						STRATEGIC CHALLENGE: <small>Write down the issues and opportunities you see for your neighborhood using the three themes below.</small>
NEIGHBORHOOD		HOUSING		OPEN SPACE/IDENTITY		
Long-term plan for gym at church.	Water retention (usable?)	East End (Jackson St. homes) are good model.	Mix of housing	Think about maintenance	Park for multiple ages	
Youth Activities	Cracking down on dumping (including apartments)	Duplexes (side by side)	Bungalow style	Expand church open space	Shanks Lane appearance	
Retail nearby is good		Nothing too big	Park Duvalle as good mix	Need more sidewalks	Walking trail like Farnsley	
		Handicapped housing		Cats on vacant lot		

Exercise #3: Neighborhood Characteristics

The two images with the most votes per board were:



Single Family

Participants were given 2 blue dots per board to vote for housing typologies and open spaces they felt were appropriate for site infill development. The three boards centered around:

- Single Family
- Multi-Family
- Identity: Streetscape + Open Space

The intent of the boards were to look at various typologies that exist for single family and multi-family residences. Various factors such as materials, lot sizes, roof pitches, porches, and housing styles were portrayed to gain an understanding of what the public felt was appropriate for their neighborhood.

The Streetscape and + Open Space board centered around the different types of amenities a park/open space can provide such as: picnic area, recreational space, street art, community gardens, bike lanes and so forth.

Additional public comments:

Consider accessibility for all design options.

Single Family				
Single Family				
Single Family				
Multi-Family				
Multi-Family				
Multi-Family				

Multi-Family				
Identity: Streetscape + Open Space				
Identity: Streetscape + Open Space				
Identity: Streetscape + Open Space				
Identity: Streetscape + Open Space				